



BROWN & CO.
PROPERTY INSPECTIONS

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RESIDENTIAL HOME INSPECTION REPORT

532 N Hassayampa Dr
Prescott, AZ 86303

Graystone Auctions, LLC

MARCH 1, 2024



Inspector

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We sincerely thank you for choosing Brown & Co. Property Inspections for this important step in your home buying journey. We have designed this report to be both thorough and easy to interpret. Each section will contain a grid to illustrate which systems and components were inspected, which were not, and which are in need of service or replacement.

"Inspected" indicates the component or system was present and able to be visually inspected and/or tested.

"Not Inspected" indicates the component or system was present but was not able to be visually inspected and/or tested. The reason, such as an obstruction, will be documented.

"Not Present" indicates the component or system is not present.

"Service/Replacement" indicates the component or system was inspected and found to be damaged and/or in a condition in which service or replacement is needed to regain the intended function and/or to prevent damage to surrounding materials.

Please note the designation of "Inspected" without the additional designation of "Service/Replacement" does not indicate the system or component is free from cosmetic deficiency. Such cosmetic deficiencies may or may not be included in this report. Certain items marked as inspected may include instructions to monitor for conditions that *may* develop after the inspection.

We encourage the customer to consult a licensed, qualified contractor for all services. Certain recommendations will include the type of contractor we recommend consulting, such as a qualified/licensed plumber or electrician. Others may be more broad and simply suggest a qualified/licensed general contractor. Please note it is common to report on conditions where regular maintenance is due. Some of these maintenance items may be able to be performed by a qualified home owner, depending on the abilities of the home owner. We recommend consulting a qualified professional for ALL common and regular maintenance items mentioned where the homeowner does not feel they can adequately and safely perform the task.

Should you have any questions regarding the information in your report, please do not hesitate to contact us at 480-290-2225. Again, we genuinely appreciate your business and wish you the best of luck with the remainder of your transaction.

SUMMARY

- ⊖ 2.1.1 Structural - Foundation: Foundation conditions
- 🔧 2.2.1 Structural - Floor Structure: "Squeaky" floor structure
- ⊖ 2.2.2 Structural - Floor Structure: Floor framing conditions
- 🔧 2.5.1 Structural - Columns & Beams : Cracked beam
- ⊖ 2.7.1 Structural - Basement/Crawlspace: Missing floor insulation
- 🔧 2.7.2 Structural - Basement/Crawlspace: No ventilation
- 🔧 3.1.1 Exterior - Driveway and Walkways: Uneven walkway/transition
- 🔧 3.1.2 Exterior - Driveway and Walkways: Cracked/Chipped Driveway
- ⊖ 3.2.1 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Improper Grade/Slope
- 🔧 3.2.2 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Vegetation contacting home
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- 🔧 3.2.6 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Eroded soil (below footings)
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- ⚠️ 3.2.8 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Missing guardrail
- 🔧 3.2.9 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Cracked retaining wall mortar
- ⊖ 3.3.1 Exterior - Cladding/Siding, Flashing & Trim: Stucco Conditions
- ⊖ 3.3.2 Exterior - Cladding/Siding, Flashing & Trim: Loose/missing Vinyl siding
- 🔧 3.4.1 Exterior - Exterior Paint : Flaking/cracking exterior paint
- ⊖ 3.6.1 Exterior - Exterior Entry Doors: Exterior door conditions
- 🔧 3.7.1 Exterior - Windows: Bent screen frames
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- 🔧 3.7.3 Exterior - Windows: Missing lock
- ⚠️ 3.7.4 Exterior - Windows: No safety glazing label located
- 🔧 3.7.5 Exterior - Windows: Unable to open window
- 🔧 3.8.1 Exterior - Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways: Cracked/damaged slab
- ⚠️ 3.8.2 Exterior - Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways: No handrail
- ⊖ 3.8.3 Exterior - Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways: Balcony conditions
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- ⊖ 4.1.2 Garage - Walls, Ceiling & Firewall Separation : Water Stains/damage (from roof leak)
- 🔧 4.2.1 Garage - Floor: Concrete slab cracks/chips
- ⊖ 4.3.1 Garage - Garage Overhead Door(s): Dented/Cracked Door Panel(s)
- 🔧 4.3.2 Garage - Garage Overhead Door(s): Damaged/separated weather-stripping

- 🔧 5.1.1 Roof & Attic - Roof Coverings: Debris on roof
- ⊖ 5.1.2 Roof & Attic - Roof Coverings: Damaged/worn asphalt shingles
- ⊖ 5.1.3 Roof & Attic - Roof Coverings: Exposed/unsealed fasteners
- 🔧 5.2.1 Roof & Attic - Flashings: Loose/lifted flashings
- 🔧 5.2.2 Roof & Attic - Flashings: Missing kick-out flashing
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- ⊖ 5.6.1 Roof & Attic - Insulation & Vapor Retarders : Low and Missing Insulation
- ⊖ 5.7.1 Roof & Attic - Roof/Attic Ventilation : Loose gable vent cover
- ⚠️ 6.1.1 Heating, Ventilation & Air Conditioning - Central Cooling System(s): Condensate drain terminates in drain-waste piping
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- 🔧 6.4.2 Heating, Ventilation & Air Conditioning - Distribution System: Balance system
- ⊖ 6.5.1 Heating, Ventilation & Air Conditioning - Heating/Cooling Source in Each Room: No heating or cooling source
- 🔧 6.6.1 Heating, Ventilation & Air Conditioning - Fireplaces : Creosote
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- 🔧 7.4.1 Plumbing - Hot Water Systems : Water heater drip pan
- ⚠️ 7.4.2 Plumbing - Hot Water Systems : Indication of back drafting
- ⊖ 7.4.3 Plumbing - Hot Water Systems : Expansion Tank Not Strapped
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- 🔧 7.5.1 Plumbing - Fuel Storage & Distribution Systems: No sediment traps
- 🔧 7.5.2 Plumbing - Fuel Storage & Distribution Systems: Loose distribution piping
- ⚠️ 7.7.1 Plumbing - Exterior Hose Bibs: Missing hose bib vacuum breaker(s)
- ⊖ 7.7.2 Plumbing - Exterior Hose Bibs: Hose bib dripping
- 🔧 7.7.3 Plumbing - Exterior Hose Bibs: No water when tested
- ⊖ 7.8.1 Plumbing - Sinks & Faucets : Evidence of leaking
- 🔧 7.8.2 Plumbing - Sinks & Faucets : Calcium/corrosion at supply valves
- 🔧 7.8.3 Plumbing - Sinks & Faucets : Slow drainage

- 🔧 7.8.4 Plumbing - Sinks & Faucets : Missing drain stop(s)
- ⊖ 7.8.5 Plumbing - Sinks & Faucets : Low Water flow
- ⊖ 7.8.6 Plumbing - Sinks & Faucets : Supply valve leak
- ⊖ 7.8.7 Plumbing - Sinks & Faucets : Drain S-Trap
- 🔧 7.9.1 Plumbing - Bathtubs & Showers : Showerhead leak (at attachment)
- ⊖ 7.9.2 Plumbing - Bathtubs & Showers : Leaking handle
- 🔧 7.9.3 Plumbing - Bathtubs & Showers : Detached or removed drain stop
- 🔧 7.9.4 Plumbing - Bathtubs & Showers : Seal around tub, trim covers & spout
- 🔧 7.9.5 Plumbing - Bathtubs & Showers : Crack in shower tile
- 🔧 7.9.6 Plumbing - Bathtubs & Showers : Hardware holes
- ⊖ 7.9.7 Plumbing - Bathtubs & Showers : No hot water
- ⊖ 7.9.8 Plumbing - Bathtubs & Showers : Inoperable tub spout diverter
- ⊖ 7.10.1 Plumbing - Toilets : Loose Toilets
- ⊖ 7.10.2 Plumbing - Toilets : Leak at tank attachment
- 🔧 7.10.3 Plumbing - Toilets : Missing tank lid
- 🔧 7.11.1 Plumbing - Washer Plumbing : Supply valve corrosion
- 🔧 8.2.1 Electrical - Service Equipment, Distribution Panels & Grounding : Circuits not labeled
- ⊖ 8.3.1 Electrical - Branch Circuit Conductors & Over-Current Devices: Double tapped neutral conductor(s)
- 🔧 8.3.2 Electrical - Branch Circuit Conductors & Over-Current Devices: Antioxidant paste
- 🔧 8.3.3 Electrical - Branch Circuit Conductors & Over-Current Devices: Non OEM breakers
- ⊖ 8.3.4 Electrical - Branch Circuit Conductors & Over-Current Devices: Undersized Conductors
- ⚠️ 8.3.5 Electrical - Branch Circuit Conductors & Over-Current Devices: Aluminum Branch Circuit Wiring
- ⊖ 8.3.6 Electrical - Branch Circuit Conductors & Over-Current Devices: Double tapped fuse
- ⊖ 8.3.7 Electrical - Branch Circuit Conductors & Over-Current Devices: Cloth NM Cable
- 🔧 8.3.8 Electrical - Branch Circuit Conductors & Over-Current Devices: Worn/damaged insulation
- ⊖ 8.4.1 Electrical - Conduit & Wiring : Exposed Non-metallic cabling
- ⚠️ 8.4.2 Electrical - Conduit & Wiring : Exposed Wires & Splices
- ⊖ 8.5.1 Electrical - Service Disconnects : Missing interior cover
- 🔧 8.6.1 Electrical - Receptacles & GFCI Devices : Loose receptacle(s)
- 🔧 8.6.2 Electrical - Receptacles & GFCI Devices : Missing interior receptacle cover(s)
- ⚠️ 8.6.3 Electrical - Receptacles & GFCI Devices : Missing GFCI Protection per Current Standards
- ⊖ 8.6.4 Electrical - Receptacles & GFCI Devices : Ungrounded 3-prong receptacles
- 🔧 8.6.5 Electrical - Receptacles & GFCI Devices : Non-outdoor cover(s)
- 🔧 8.6.6 Electrical - Receptacles & GFCI Devices : No bathroom receptacles
- 🔧 8.6.7 Electrical - Receptacles & GFCI Devices : Painted receptacles
- 🔧 8.7.1 Electrical - Light Fixtures, Ceiling fans and Switches : Light(s) did not respond
- 🔧 8.7.2 Electrical - Light Fixtures, Ceiling fans and Switches : Missing Exterior light for door
- ⊖ 8.8.1 Electrical - Doorbell : No Chime
- 🔧 8.9.1 Electrical - Smoke Detectors: 10+ years old
- ⚠️ 8.9.2 Electrical - Smoke Detectors: No smoke detectors in required locations
- ⚠️ 8.10.1 Electrical - Carbon Monoxide Detectors: No CO Detector Located

- ⊖ 9.1.1 Interior - Walls & Ceilings : Drywall cracks
- ⊖ 9.1.2 Interior - Walls & Ceilings : Water Stains (potential roof/plumbing leaks)
- 🔧 9.1.3 Interior - Walls & Ceilings : Damaged/open drywall
- 🔧 9.1.4 Interior - Walls & Ceilings : Missing drop-down ceiling panels
- ⊖ 9.2.1 Interior - Floors: Water stained flooring
- 🔧 9.3.1 Interior - Interior Doors & Closets : Door(s) rub
- 🔧 9.3.2 Interior - Interior Doors & Closets : Will not latch
- 🔧 9.4.1 Interior - Countertops & Cabinets: Rusted paneling
- 🔧 9.4.2 Interior - Countertops & Cabinets: Damaged Counter Finish
- 🔧 9.4.3 Interior - Countertops & Cabinets: Door does not open
- 🔧 9.5.1 Interior - Steps, Stairways, Balconies & Railings: Loose handrail
- ⚠️ 10.3.1 Kitchen Appliances - Range/Oven and Cooktop: Missing Anti-tip device

1: INSPECTION DETAILS

Information

In Attendance

Inspector Only

State of Occupancy

Partially Furnished, Vacant

Type of Building

Single-family, Two Story

Temperature

Over 60 degrees F

Weather Conditions

Clear

Rain Within Last 3 Days

No

2: STRUCTURAL

		IN	NI	NP	S
2.1	Foundation	X			X
2.2	Floor Structure	X			X
2.3	Wall Structure	X			
2.4	Ceiling Structure	X			
2.5	Columns & Beams	X			X
2.6	Roof Structure	X			
2.7	Basement/Crawlspace	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Foundation: Type

Poured Concrete Walls,
Basement, Pier and Beam

Floor Structure: Type(s)

Wood frame

Wall Structure: Type(s)

Wood Framed, Concrete Walls

Ceiling Structure: Type(s)

Wood, Conventional frame

Columns & Beams : Type(s)

Solid wood

Roof Structure : Type

Conventional Wood Framing

**Basement/Crawlspace:
Crawlspace Inspection**

Viewed from entry

**Basement/Crawlspace: Crawl
Space Ventilation**

None Installed

Basement/Crawlspace: Basement

Unfinished

Reference Photos



Potential for lead-based paint (pre-1978)

The use of lead in the manufacturing of paint was banned by the EPA in 1978. This home was constructed prior to the banning of lead paint. Paint could be sampled by a qualified specialist/abatement professional to determine if lead is present. More information regarding lead-based paint can be found [HERE](#).

Wall Structure: Inspected - Covered

The wall structure was covered by exterior siding and/or drywall. Conditions such as stucco cracks and drywall cracks will be documented in the exterior and interior sections if observed.

Ceiling Structure: Inspected - Covered

The ceiling structure was covered drywall. No indication of major movement or damage was observed. Conditions such as drywall cracks and nail pops will be documented in the interior section if observed.

Columns & Beams : Toenailed connections

Some of the connections between columns and beams are toenailed. The installation of metal straps or similar components is typically preferred. A licensed contractor can be consulted to add hardware as needed.



Roof Structure : Inspected to extent visible

The visible components of the roof structure were inspected. Please note that visibility was limited due to limited accessibility/maneuverability in the attic, HVAC equipment and insulation. Common and minor splintering of wood was observed in some areas.

Basement/Crawlspace: No Vapor Barrier

There is no vapor barrier applied over the soil in the crawlspace/basement.

Service/replace

2.1.1 Foundation

FOUNDATION CONDITIONS



Service/Replacement Items

Conditions observed at exposed foundation concrete walls included: Vertical fractures with a varying degree of separation, exposed aggregate (Missing finish coat), and efflorescence/water stains. Soil was also damp near some sections of the foundation walls inside the basement. Cracks can indicate a degree of settlement and could allow for water intrusion. Additionally, efflorescence/water stains can indicate improper site drainage. I recommend consulting a licensed foundation/concrete repair professional for service. Additionally, I recommend correcting grading/drainage conditions around the home where necessary.



2.2.1 Floor Structure

“SQUEAKY” FLOOR STRUCTURE

 Maintenance/Improvement Items

Squeaking or popping sounds can be felt while walking on some second-story floor areas. Fasteners and framing can often be secured to remedy the condition. A licensed contractor can be consulted for service as needed.

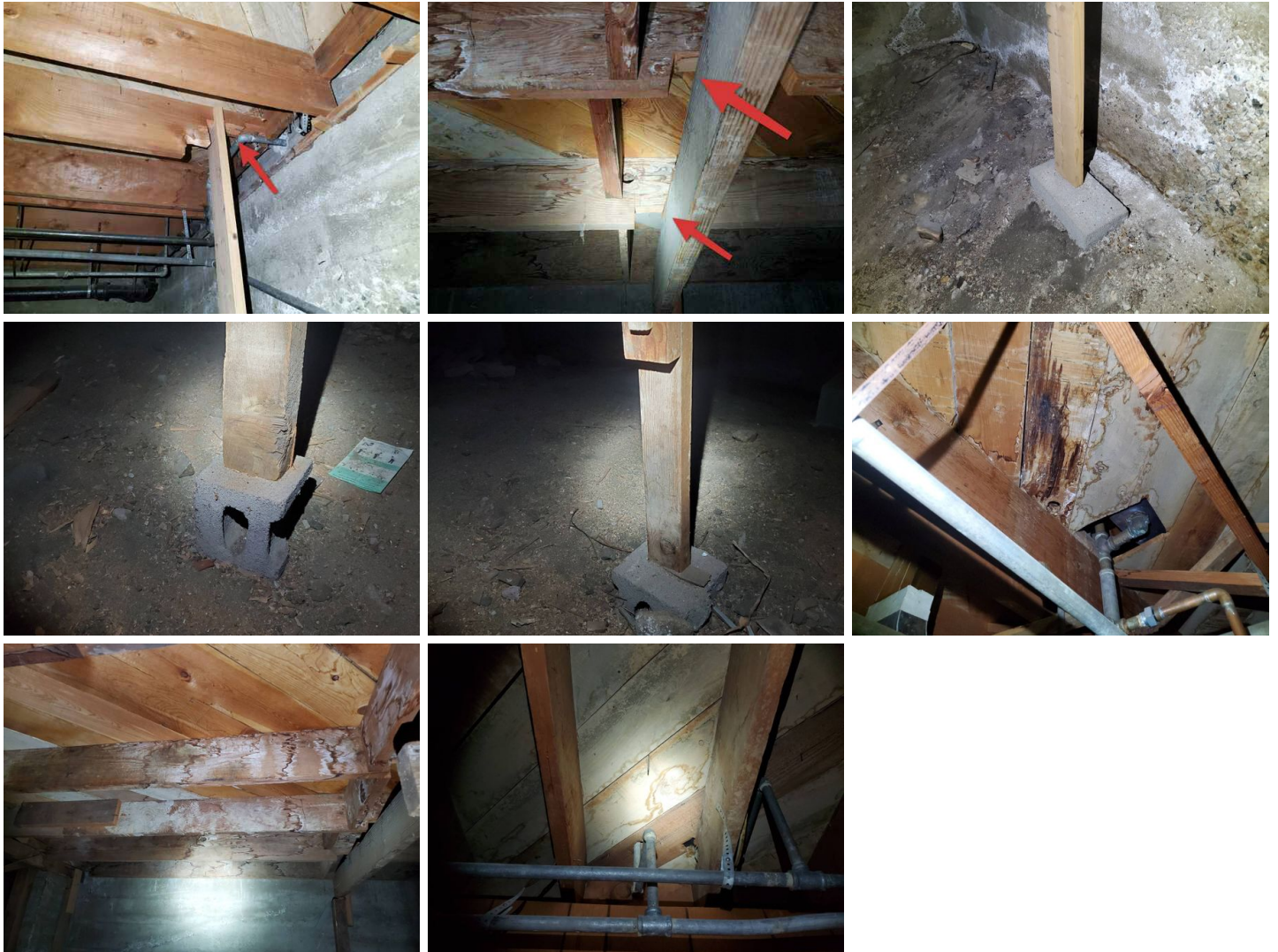


2.2.2 Floor Structure

FLOOR FRAMING CONDITIONS

 Service/Replacement Items

Basement floor joists are excessively/improperly cut/notched in some areas. Furthermore, water stained/damaged floor joists/subflooring was observed. Lastly, some joists are supported by wooden posts which do not have a concrete footing installed/are resting on concrete blocks. I recommend consulting a licensed contractor to further assess/provide service options.

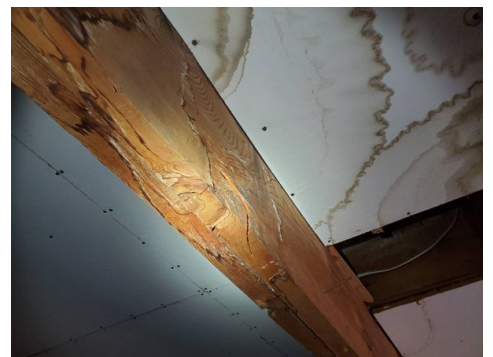


2.5.1 Columns & Beams

 Maintenance/Improvement Items

CRACKED BEAM

Water stains as well as cracking of a downstairs beam was observed. No major damage was detected. A licensed contractor can be consulted to further assess.



2.7.1 Basement/Crawlspace

 Service/Replacement Items

MISSING FLOOR INSULATION

Underfloor insulation and vapor barrier material is missing in some areas in the crawlspace/basement. I recommend installation of insulation/vapor barrier where missing by a qualified insulation installation professional.



2.7.2 Basement/Crawlspace

NO VENTILATION



No means of ventilation is installed for the crawlspace/unfinished basement. I recommend consulting a licensed contractor to assess ventilation needs and provide ventilation means as deemed necessary.

3: EXTERIOR

		IN	NI	NP	S
3.1	Driveway and Walkways	X			X
3.2	Vegetation, Grading, Drainage & Retaining Walls	X			X
3.3	Cladding/Siding, Flashing & Trim	X			X
3.4	Exterior Paint	X			X
3.5	Eaves, Soffits & Fascia	X			
3.6	Exterior Entry Doors	X			X
3.7	Windows	X			X
3.8	Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways	X			X
3.9	Fence	X			
3.10	Gates	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Cladding/Siding, Flashing & Trim: Material(s) **Cladding/Siding, Flashing & Trim: Visible stucco repairs**

Conventional Stucco, Vinyl,
Stucco applied over foundation
walls

Stucco repairs or patched areas
are visible in some locations.



Reference Photos



Vegetation, Grading, Drainage & Retaining Walls: Limited retaining wall visibility

Visibility of the condition of the front yard retaining wall is limited due to vegetation growth.



Eaves, Soffits & Fascia: Inspected

Roof eaves/overhangs were observed and appeared in reasonable serviceable condition given the age of the home.

Exterior Entry Doors: Cosmetic conditions

Cosmetic conditions such as small dents, chipped/flaking paint, cracks and chipped wood were observed. These conditions did not affect the performance or serviceability of the door(s) when observed and tested.



Windows: Dirty or dusty windows

Windows were dirty and/or dusty at the time of the inspection. This can make assessment of glazing difficult in some cases. Certain conditions such as failed dual pane window seals may not be able to be observed.

Windows: Interior window coverings

Interior window coverings installed at the time of the inspection limit the ability to fully observe window conditions.

Service/replace

3.1.1 Driveway and Walkways



Maintenance/Improvement Items

**UNEVEN
WALKWAY/TRANSITION**

FRONT OF HOME

The uneven walkway/transition *could* be a trip concern. I recommend caution when walking in the area. A qualified hardscape repair professional could be consulted for service if needed.



3.1.2 Driveway and Walkways



Maintenance/Improvement Items

**CRACKED/CHIPPED
DRIVEWAY**

Cracked and chipped concrete was observed at the driveway. The condition could worsen with water penetration. A concrete repair professional can be consulted for service/to seal as needed.



3.2.1 Vegetation, Grading, Drainage & Retaining Walls



Service/Replacement Items

IMPROPER GRADE/SLOPE

Exterior grade is flat and/or negatively sloped in some areas. A slope of approximately **1 inch per foot away** from the foundation is recommended for at least the first few feet so that proper drainage can be maintained. I recommend grading conditions be corrected where necessary by a qualified grading or landscape professional.



3.2.2 Vegetation, Grading, Drainage & Retaining Walls

 Maintenance/Improvement Items

VEGETATION CONTACTING HOME

Vegetation is contacting and obstructing visibility of exterior walls in some areas. It is recommended that vegetation be trimmed away from exterior walls so that visibility may be maintained as well as to limit exterior siding/paint damage and moisture issues. I recommend trimming or removing where necessary.



3.2.3 Vegetation, Grading, Drainage & Retaining Walls

 Maintenance/Improvement Items

HIGH GRADE

Exterior grade is high and contacting exterior siding and/or covering the foundation in some areas. It is important that grade not contact siding to prevent water damage, to help prevent pest intrusion as well as to monitor foundation conditions. I recommend grade be lowered where necessary leaving an appropriate slope away from the foundation (at least 1 inch per foot for the first few feet). A landscape or grading professional should be contacted for service if needed.



3.2.4 Vegetation, Grading, Drainage & Retaining Walls



Maintenance/Improvement Items

TREE(S) OVERHANGING ROOF

Tree(s) contacting and/or overhanging a roof can lead to roof covering damage, vegetation accumulation on the roof and limited drainage. I recommend trimming as necessary. A licensed arborist can be consulted for service for larger trees.



3.2.5 Vegetation, Grading, Drainage & Retaining Walls



Maintenance/Improvement Items

IMPROPER HARDSCAPE SLOPE

Hardscape materials are flat or negatively sloped toward the garage, however a raised area of the hardscape is present in front of the garage door to limit water entry. I recommend monitoring water drainage in this area to ensure it adequately drains away from the garage. I recommend consulting a licensed contractor/hardscape professional for service/correction if necessary.



3.2.6 Vegetation, Grading, Drainage & Retaining Walls



Maintenance/Improvement Items

ERODED SOIL (BELOW FOOTINGS)

Soil is has eroded and/or is missing below the staircase pier footings. This could lead to breaking of the concrete/settling. I recommend having soil replaced where it is low and missing.



3.2.7 Vegetation, Grading, Drainage & Retaining Walls



Maintenance/Improvement Items

DOWNSPOUT(S) TERMINATE NEXT TO STRUCTURE

FRONT AND SIDE OF HOME

Gutter downspout(s) terminate next to the structure. It is recommended gutters discharge a few feet away from the structure. A qualified professional can be consulted to extend downspouts where needed.



3.2.8 Vegetation, Grading, Drainage & Retaining Walls

 Safety Items
MISSING GUARDRAIL

A guard rail has not been installed around the front yard retaining wall. A guard rail should be installed to limit falling hazards.



3.2.9 Vegetation, Grading, Drainage & Retaining Walls

 Maintenance/Improvement Items
CRACKED RETAINING WALL MORTAR

Cracks in mortar were observed at the visible sections of the front yard retaining wall. I recommend consulting a licensed professional to further evaluate/service.



3.3.1 Cladding/Siding, Flashing & Trim

 Service/Replacement Items
STUCCO CONDITIONS

Stucco cracks/chips, unsealed penetrations, and areas of missing stucco were observed. Cracking is often a result of the natural curing process however can also be an indication of settling or movement. Stucco cracks are typically be sealed when they reach the point where water could penetrate. A siding repair professional should be consulted for service if needed.

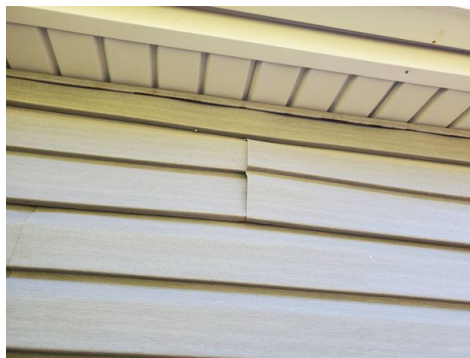


3.3.2 Cladding/Siding, Flashing & Trim

LOOSE/MISSING VINYL SIDING

Service/Replacement Items

Vinyl siding is loose/missing in some areas. Additionally, small unsealed holes were observed in siding. I recommend consulting a licensed siding repair professional for service.



3.4.1 Exterior Paint

FLAKING/CRACKING EXTERIOR PAINT

Maintenance/Improvement Items

Exterior paint is flaking and/or cracking in some areas. Loose paint should typically be scraped and exposed areas repainted. An exterior painter can be consulted for service if needed.

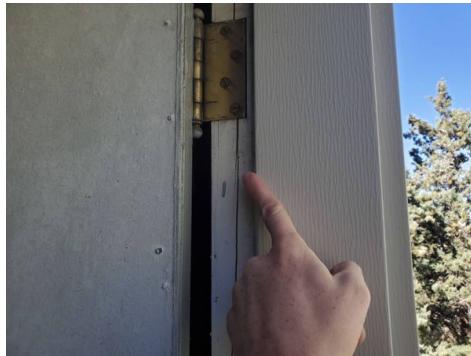


3.6.1 Exterior Entry Doors

 Service/Replacement Items

EXTERIOR DOOR CONDITIONS

Exterior door conditions observed included: Doors not sealed when closed, water damage, doors that rub against the threshold, latches that stick or are difficult to engage, cracked jambs, and missing safety glazing labels for door glazing. I recommend consulting a licensed door repair professional for service.



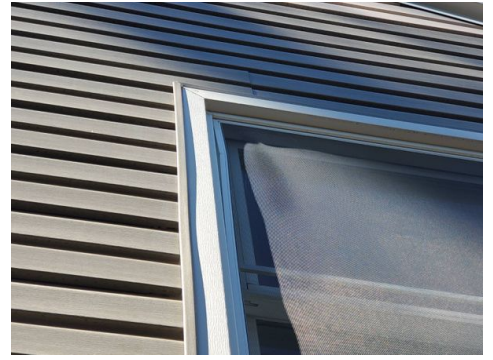
3.7.1 Windows

 Maintenance/Improvement Items

BENT SCREEN FRAMES

SIDE OF HOME

Some of the window screen frames are bent and no longer securely sit in place. A qualified handy person or window repair professional could be consulted to replace if needed.



3.7.2 Windows

 Maintenance/Improvement Items

DIFFICULT TO LOCK

Some of the windows were difficult to lock after opening. A window repair professional can be consulted for adjustment.



Kitchen



Guest Bedroom



Primary Bathroom



Downstairs

3.7.3 Windows

 Maintenance/Improvement Items

MISSING LOCK

DOWNSTAIRS

The window lock component is missing. A window repair professional could be consulted to replace the lock.



3.7.4 Windows

**NO SAFETY GLAZING LABEL LOCATED**

FRONT OF HOME AND GARAGE

I was not able to locate a safety glazing label to ensure that tempered glass is installed. Safety/tempered glazing would be required in this location. I recommend consulting a window repair and installation professional to further assess.

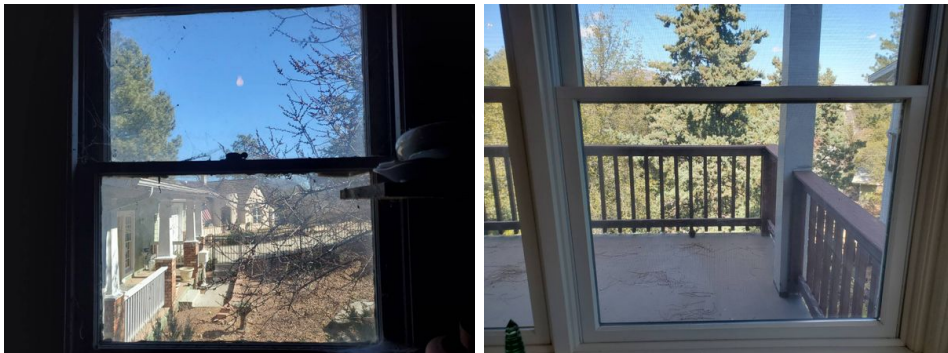


3.7.5 Windows

**UNABLE TO OPEN WINDOW**

GARAGE AND DINING ROOM/AREA

I was not physically able to open the window with normal testing. I recommend consulting a window repair professional for service.



3.8.1 Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways

**CRACKED/DAMAGED SLAB**

FRONT OF HOME

The exterior concrete slab is cracked/damaged and has been previously repaired in some areas. I recommend consulting a qualified professional for additional service/repair.



3.8.2 Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways

 Safety Items

NO HANDRAIL

There is no handrail installed. Exterior stairs with four or more riser should have a handrail installed. I recommend consulting a licensed contractor for installation.



3.8.3 Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways

 Service/Replacement Items

BALCONY CONDITIONS

Water stains/damage was observed at balcony framing. Additionally, guardrail baluster spacing exceeded more than 4". Guardrail spacing should not exceed 4" to limit children from passing through. I recommend consulting a licensed contractor to further assess.



3.8.4 Porch/Patio, Deck, Balcony, Stoops/Steps, Railings & Areaways

 Safety Items

STAIRCASE CONDITIONS

Staircase conditions observed included: Open staircase risers, baluster spacing exceeding 4", separated framing components, water stains/damage, slightly wobbly guard railing, and toenailed framing connections. I recommend consulting a licensed contractor to further assess/service.

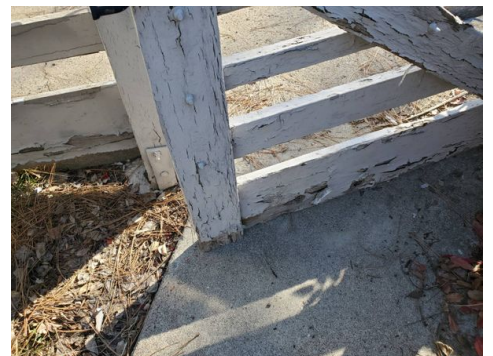


3.10.1 Gates

GATE RUBS GROUND

 Maintenance/Improvement Items

The exterior gate rubs the ground/walkway when opening and closing. A qualified handy person could be consulted to adjust if needed.



3.10.2 Gates

MISSING LATCH HARDWARE

 Maintenance/Improvement Items

Latching hardware for the gate is missing. I recommend consulting a qualified professional for replacement.



4: GARAGE

		IN	NI	NP	S
4.1	Walls, Ceiling & Firewall Separation	X			X
4.2	Floor	X			X
4.3	Garage Overhead Door(s)	X			X
4.4	Garage Door Opener(s) & Safety Functions			X	
4.5	Fire Door (to interior)			X	

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Garage Overhead Door(s):
Material

Metal, Non-insulated

Garage Overhead Door(s): Size(s)
One Car

Reference Photos



Limited inspection in garage

Inspection within the garage was limited to visible areas due to personal belongings and stored items.

Limitations

Garage Door Opener(s) & Safety Functions

NO GARAGE OVERHEAD DOOR OPERATOR

There was no garage overhead door operator installed at the time of the inspection.

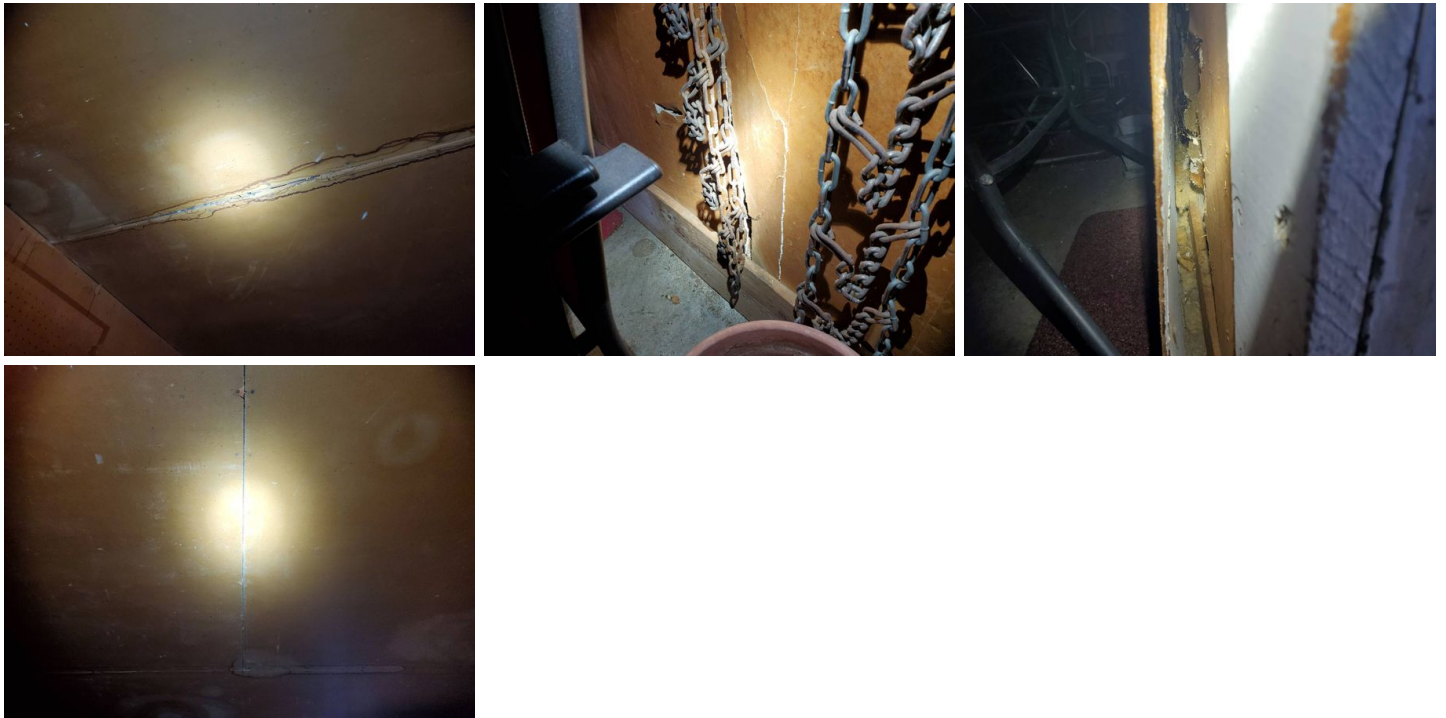
Service/replace

4.1.1 Walls, Ceiling & Firewall Separation

CRACKED/UNSEALED DRYWALL (FIREWALL)



Unsealed drywall observed in the garage limits the firewall separation between the garage and attic/interior. A proper firewall barrier must be maintained to prevent or slow the spread of potential fire and fumes in the garage. I recommend drywall be serviced/re-sealed by a qualified drywall repair professional.

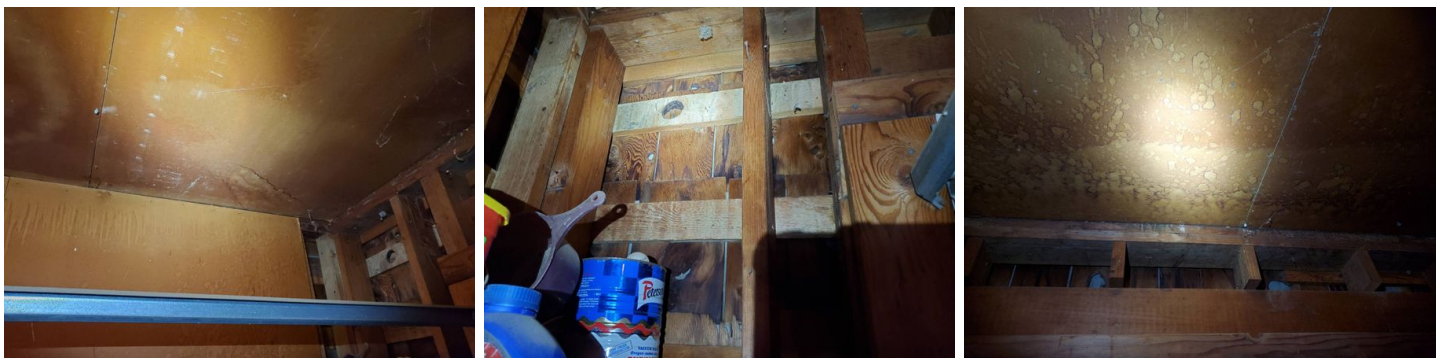


4.1.2 Walls, Ceiling & Firewall Separation

 Service/Replacement Items

WATER STAINS/DAMAGE (FROM ROOF LEAK)

Water stains/damage was observed in the garage. Observed conditions that can lead to leaking have been noted in the roof section. I recommend consulting a drywall repair professional for service and monitoring after roof service is complete.





4.2.1 Floor

CONCRETE SLAB CRACKS/CHIPS

Maintenance/Improvement Items

The garage concrete floor/slab is cracked in some areas. Additionally, uneven areas of the concrete slab could present a tripping concern. A concrete/foundation repair professional should be consulted to review/service.



4.3.1 Garage Overhead Door(s)

DENTED/CRACKED DOOR PANEL(S)

Service/Replacement Items

Dented/bent and cracked garage overhead door panel(s) observed. A licensed garage door repair professional should be consulted to service or replace.



4.3.2 Garage Overhead Door(s)

DAMAGED/SEPARATED WEATHER-STRIPPING

Maintenance/Improvement Items

Weather-stripping installed for the garage overhead door is damaged/separated or missing in some areas. I recommend consulting a qualified professional for replacement/installation as needed.



5: ROOF & ATTIC

		IN	NI	NP	S
5.1	Roof Coverings	X			X
5.2	Flashings	X			X
5.3	Skylights, Chimneys & Roof Penetrations	X			X
5.4	Roof Drainage Systems	X			X
5.5	Attic Access	X			
5.6	Insulation & Vapor Retarders	X			X
5.7	Roof/Attic Ventilation	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Roof Inspection Method(s)

Walked Roof

Roof Type/Style

Gable

Indications of Roof Leaking (past or present)

Indication of leaking is noted in this report, Original roof has been replaced

Attic Inspection

Inspected from entry due to limited accessibility or maneuverability

Roof Coverings: Type(s)

Asphalt Shingle

Attic Access : Location(s)

Staircase

Insulation & Vapor Retarders : Insulation Type

Blown-in Fiberglass, Fiberglass Batt

Insulation & Vapor Retarders : Vapor Retarder

None installed, Not required in attic

Roof/Attic Ventilation : Type

Gable Vents

Reference Photos



Evidence of roof leaking (not original roof)

Evidence of roof leaking was observed. All observed conditions that can lead to leaking have been documented in the report however additional conditions could exist. The original roof has been replaced so it is possible some of these stains could be old. Please note that I am not able to confirm which stains are old and which could present ongoing roof leaking conditions. Further assessment by a licensed roofer is recommended.



Flashings: Rubber flashing collars

Flashings with rubber collars are installed. Collars appeared serviceable as of the time of the inspection, however, might break down with time and continued exposure to UV. I recommend periodic inspection by a professional roofer.

Service/replace

5.1.1 Roof Coverings

 Maintenance/Improvement Items

DEBRIS ON ROOF

Dust/debris accumulation was observed on the roof. Debris accumulation can lead to limited drainage and water intrusion. I recommend debris be removed by a qualified professional/roofer.



5.1.2 Roof Coverings

 Service/Replacement Items

DAMAGED/WORN ASPHALT SHINGLES

Physical damage/granule loss was observed at some of the asphalt shingles. I recommend consulting a licensed roofing professional for assessment/service.



5.1.3 Roof Coverings

EXPOSED/UNSEALED FASTENERS
 Service/Replacement Items

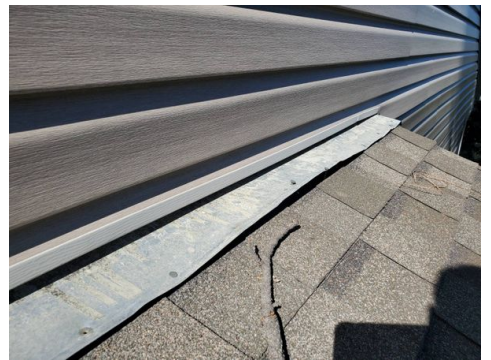
Exposed/unsealed fasteners that penetrate the roof covering can (potentially) lead to water intrusion. I recommend having these fasteners sealed by a qualified roofer.



5.2.1 Flashings

LOOSE/LIFTED FLASHINGS
 Maintenance/Improvement Items

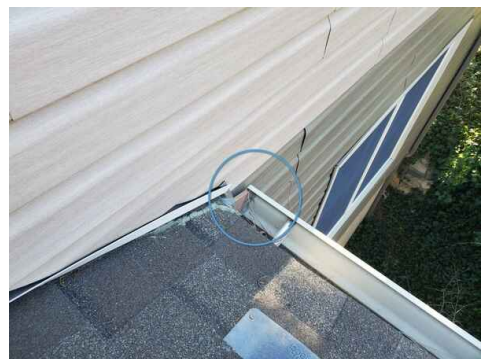
Loose/lifted flashing was observed. I recommend consulting a qualified roofer to secure flashing as (and when) necessary to help prevent moisture intrusion due to wind driven rain and to help prevent further flashing displacement due to high wind.



5.2.2 Flashings

MISSING KICK-OUT FLASHING
 Maintenance/Improvement Items

Kick-out flashing is missing at the intersection of the roof covering and sidewalls in some areas. Kick-out flashing helps prevent moisture intrusion into the wall cavity and/or will help prevent exterior siding damage. I recommend adding kick-out flashing. A qualified roofer can be consulted for service.



5.3.1 Skylights, Chimneys & Roof Penetrations

NO SPARK ARRESTOR
 Maintenance/Improvement Items

There is no spark arrester installed at the top of the chimney flue. A spark arrester will help prevent sparks from leaving the flue and will also help prevent birds from flying in. I recommend consulting a qualified/licensed professional to install a spark arrester.



5.4.1 Roof Drainage Systems

 Maintenance/Improvement Items

CLEAR GUTTERS

Debris observed in the roof gutters can/will limit drainage. I recommend clearing gutters as/when necessary.

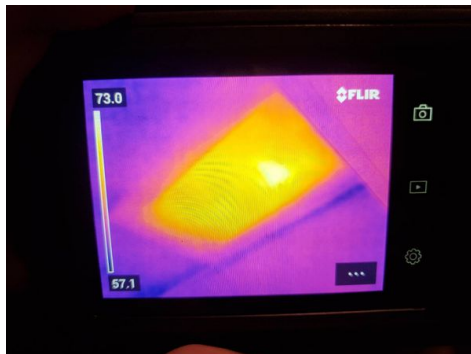


5.6.1 Insulation & Vapor Retarders

 Service/Replacement Items

LOW AND MISSING INSULATION

Underfloor insulation is missing in some areas. Additionally, the attic access panel is also missing insulation. I recommend consulting a qualified professional to add/install insulation where low and missing.



5.7.1 Roof/Attic Ventilation

 Service/Replacement Items

LOOSE GABLE VENT COVER

A gable vent cover is loose from the attachment to the exterior wall and should be further secured to limit water entry into the attic. I recommend consulting a licensed professional for service.



6: HEATING, VENTILATION & AIR CONDITIONING

		IN	NI	NP	S
6.1	Central Cooling System(s)	X			X
6.2	Heating System(s)	X			
6.3	Normal Operating Controls	X			
6.4	Distribution System	X			X
6.5	Heating/Cooling Source in Each Room	X			X
6.6	Fireplaces	X			X
6.7	Interior Venting Systems (Fans)	X			X
6.8	Dryer Vent	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

**Central Cooling System(s):
Number of Systems**

One

**Central Cooling System(s): Air
Handler Year Manufactured (per
data label)**

2012

Heating System(s): Type(s)

Furnace - Forced Air

**Heating System(s): Combustion
Air Provided**

Yes

Fireplaces : Type(s)

Traditional - wood burning

Dryer Vent : Discharge location
NOT LOCATED

**Central Cooling System(s):
Type(s)**

Central Air Conditioning

**Central Cooling System(s):
Condensate drain discharge
location(s)**

Drain Piping

Heating System(s): Energy Source

Natural Gas

Distribution System: Type

Ducts, Partially not visible

Fireplaces : Number of Fireplaces

One

**Central Cooling System(s): Energy
Source**

Electric

**Heating System(s): Number of
Systems**

One

**Heating System(s): Heat System
Testing**

Furnace tested

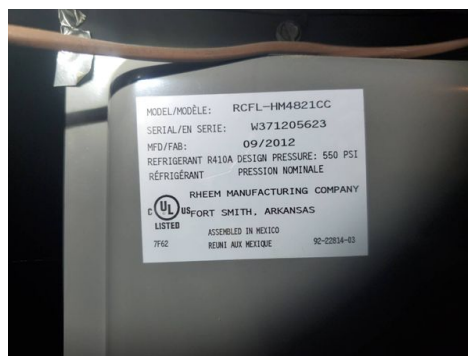
**Distribution System: Return/Filter
Location(s)**

At air handling equipment

**Interior Venting Systems (Fans) :
Locations**

Bathroom, Kitchen

Reference Photos

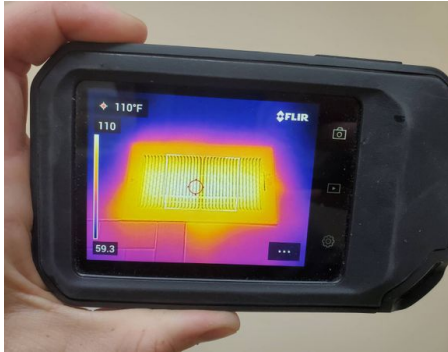


Central Cooling System(s): Age of System (10+ years)

The air handler system is approximately 12 years old per the data label. The average/estimated serviceable life of cooling equipment is approximately 10-15 years depending on a number of variables including service history. A licensed HVAC contractor should be able to further assess and offer an estimate regarding remaining serviceability. **Please note - we do not guarantee the remaining serviceable life of the cooling system.**

Heating System(s): Furnace fired

The furnace fired when tested and warmed air to an acceptable temperature.



Normal Operating Controls : Inspected

Heating and cooling operating controls (thermostat) were observed and tested for basic functionality.

Service/replace

6.1.1 Central Cooling System(s)

CONDENSATE DRAIN TERMINATES IN DRAIN-WASTE PIPING

The cooling system condensate drain terminates into a plumbing drain pipe in the downstairs utility room. This is commonly considered to be an improper cross connection by industry professionals as it could be a direct connection to a source of contamination. I recommend having the drain reinstalled with an established air gap by a qualified plumber/HVAC professional.

 Safety Items



6.1.2 Central Cooling System(s)

NO CONDENSER UNIT/AC

An air handler/furnace unit is present however, an exterior condenser unit has not been installed. A condenser unit would be necessary to provide cooled air to the home. I recommend consulting a licensed HVAC contractor to install a condenser unit.

 Service/Replacement Items



6.4.1 Distribution System

REPLACE FILTER(S)

 Maintenance/Improvement Items

The air filter(s) are dark/dirty and should be replaced so proper air flow may be established and to prevent dirt/dust accumulation within the system.

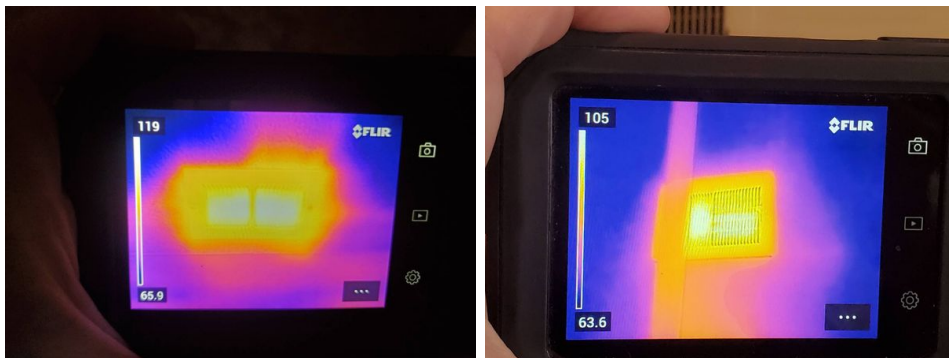


6.4.2 Distribution System

 Maintenance/Improvement Items

BALANCE SYSTEM

The temperature of the air delivered to the individual rooms/areas varied by upwards of **14** degrees when the system was tested. A licensed HVAC professional should be consulted to determine if the system can be better balanced.

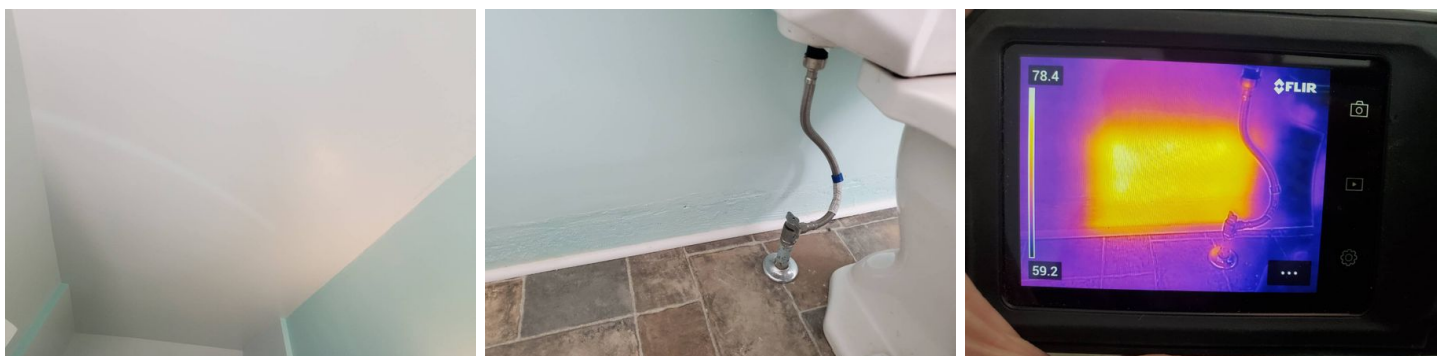


6.5.1 Heating/Cooling Source in Each Room

 Service/Replacement Items

NO HEATING OR COOLING SOURCE

There is no heating/cooling source installed in the primary bathroom or downstairs main room. A supply register for the primary bathroom *could* be covered by drywall as observed using an infrared camera, however removal of drywall may be needed to confirm. A qualified HVAC professional can/should be consulted to review options/provide service.



6.6.1 Fireplaces



Maintenance/Improvement Items

CREOSOTE

Creosote build-up was observed at the top of the firebox and within the flue. Creosote is combustible and should be cleaned as often as necessary. I recommend service/cleaning and full evaluation of the flue by a qualified chimney (sweep) professional.



6.6.2 Fireplaces



Service/Replacement Items

GAPS/CRACKS AND MISSING GROUT

Cracked and missing grout was observed within the firebox. I recommend having these areas resealed by a qualified chimney and fireplace repair professional prior to use.



6.6.3 Fireplaces



Maintenance/Improvement Items

MISSING MESH SCREEN

A permanent protective mesh screen or glass door has not been installed at the fireplace. A mesh screen/door would limit embers from escaping the firebox. A qualified technician can be consulted to install these components as necessary.



6.7.1 Interior Venting Systems (Fans)



Service/Replacement Items

UNABLE TO LOCATE FAN TERMINATION

DOWNSTAIRS BATHROOM

I was unable to locate the termination of the downstairs bathroom ventilation fan duct. The duct should extend through the roof or exterior wall. I recommend consulting a qualified/licensed professional to further assess/service.



6.7.2 Interior Venting Systems (Fans)



Maintenance/Improvement Items

NOISY VENTILATION FAN

KITCHEN

The ventilation fan is or could be considered noisy while in use. The fan may be able to be serviced for quieter operation or may need to be replaced. A qualified professional/electrician can be consulted for service.



6.8.1 Dryer Vent

UNABLE TO LOCATE DRYER VENT TERMINATION

Service/Replacement Items

I was unable to locate the dryer vent termination. The dryer vent *may* discharge into the basement/crawlspace, however I cannot confirm. The dryer vent should exhaust to an exterior wall or the roof. I recommend consulting a licensed professional for further assessment/correction as necessary.

7: PLUMBING

		IN	NI	NP	S
7.1	Water Supply & Distribution System	X			X
7.2	Main Water Shut-off Device	X			
7.3	Drain, Waste, & Vent System	X			X
7.4	Hot Water Systems	X			X
7.5	Fuel Storage & Distribution Systems	X			X
7.6	Sump Pump, Ejector Pump			X	
7.7	Exterior Hose Bibs	X			X
7.8	Sinks & Faucets	X			X
7.9	Bathtubs & Showers	X			X
7.10	Toilets	X			X
7.11	Washer Plumbing	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Water Source

Public

Utility Water Meter

Observed

Water Pressure at Time of Inspection

Over 80 PSI

Water Supply & Distribution System: Observed Service Pipe Material(s)

Galvanized

Water Supply & Distribution System: Observed Distribution Pipe Material(s)

Galvanized

Main Water Shut-off Device: Location

Not able to confirm

Drain, Waste, & Vent System : Observed Material(s)

ABS, PVC, Cast iron or galvanized

Drain, Waste, & Vent System : Observed Clean-out Location(s)

3" Clean-out on roof, Exterior

Hot Water Systems : Power Source

Natural Gas

Hot Water Systems : Size/Type

50 Gallon Tank

Hot Water Systems : Location

Downstairs Utility Room

Hot Water Systems : Combustion Air Provided

Yes

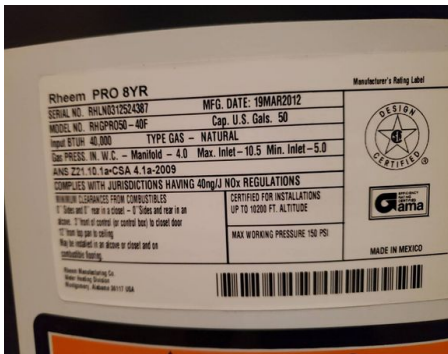
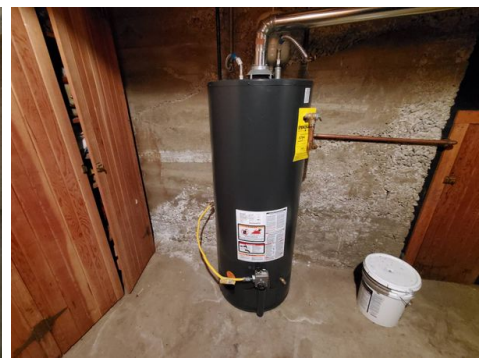
Hot Water Systems : Year Manufactured (per data label)

2012

Fuel Storage & Distribution Systems: Main Fuel Shut-off Location

Front of Home

Reference Photos



Water Supply & Distribution System: No Indication of Water Flow at Meter

The utility water meter was observed with all fixtures off. The meter did not indicate water was flowing to the home.

Main Water Shut-off Device: Unable to locate main water shut off

I was unable to determine the location of the main water shut off valve to the home. The seller may be able to provide further insight. A qualified plumber/professional can be consulted for further assessment.

Drain, Waste, & Vent System : Cast Iron Drain Material

Older cast iron pipe is installed. Older metallic drain material can be prone to corrosion which can limit drainage and increase probability of obstruction. I recommend inquiry with the seller regarding drainage history for the home, specifically as it relates to issues with obstructions. Sewer scoping services are available to help determine the condition of the drain (and building sewer) pipe material(s).



Drain, Waste, & Vent System : No 2-way clean out observed

No 2-way (exterior/yard) plumbing clean-out was observed. Modern requirements include a plumbing clean-out near the intersection of the building drain and building sewer. A clean-out could be installed but covered with rock and/or soil or there may not be a clean-out installed. A qualified plumbing drain repair/installation professional could be consulted to install a clean-out if needed.

Hot Water Systems : Age of Unit (8+ years)

The water heater is approximately 12 years old. The average serviceable life of a water heater tank is approximately 8-12 years depending on a number of variables including service history. I recommend inquiry with the seller regarding service records for the water heater. **Please note - we do not guarantee the remaining serviceable life of the water heater.**

Toilets : Toilet valves turned off

Supply valves for all bathroom toilets except the attached bathroom have been turned off. The valves were not turned on to test. I recommend inquiry with the seller in regards to the reason valves are turned off and retesting prior to move-in.

Service/replace

7.1.1 Water Supply & Distribution System



Service/Replacement Items

EVIDENCE OF LEAKING

BASEMENT

Evidence of (prior) leaking in the form of calcification/corrosion was observed. No active leaking was observed. The leak may have self sealed if not serviced. I recommend consulting a plumber to assess/service as it is not evident that service has been performed.



7.1.2 Water Supply & Distribution System



Service/Replacement Items

HIGH WATER PRESSURE

Utility water pressure exceeded 80 PSI at the time of the inspection. A maximum of 80 PSI is commonly recommended to limit stress on the interior water supply system and fixtures/fittings. I recommend consulting a licensed plumber to install a pressure reducing valve.



7.1.3 Water Supply & Distribution System



Service/Replacement Items

GALVANIZED WATER DISTRIBUTION PIPING

Galvanized water distribution piping was common when this home was built and is often changed out due to issues with corrosion, water restriction and/or leaking. Galvanized pipe was observed in some locations. I recommend evaluation of the extent of the remaining galvanized distribution by a qualified plumber to determine if replacement may be necessary.



7.1.4 Water Supply & Distribution System

 Maintenance/Improvement Items

LOOSE DISTRIBUTION PIPING

LAUNDRY ROOM/AREA

Plumbing distribution piping is loose/not secured. Distribution piping should remain secured to prevent movement and loosening of connections. A qualified professional/plumber can be consulted for service.



7.3.1 Drain, Waste, & Vent System

 Service/Replacement Items

EVIDENCE OF DRAIN LEAKAGE

Evidence of leakage was observed at cast iron drain piping inside the basement. No active leakage was observed. I recommend consulting a licensed plumber for service.



7.4.1 Hot Water Systems

 Maintenance/Improvement Items

WATER HEATER DRIP PAN

There is no drip pan installed below the water heater to help catch water in the event of a leak. A qualified professional/plumber can be consulted to install a drip pan.



7.4.2 Hot Water Systems

 Safety Items

INDICATION OF BACK DRAFTING

Condensation stains on the top of the water heater are common indication of back-drafting of exhaust gas around the draft hood. There can be multiple atmospheric pressure variables that might lead to back drafting of a natural draft gas appliance. I recommend further evaluation by a qualified plumber to determine if corrective action or adjustment will be necessary.



7.4.3 Hot Water Systems

EXPANSION TANK NOT STRAPPED

Service/Replacement Items

The water heater expansion tank is not strapped/braced to the wall. This could place excessive strain on the connection. I recommend consulting a licensed plumber for service/to secure.



7.4.4 Hot Water Systems

WATER/CONDENSATION DRIPPING FROM FLUE

Service/Replacement Items

Water/condensation was observed dripping from the water heater gas flue into the basement. I cannot determine the cause. I recommend consulting a licensed plumber to determine the cause and to provide service options as necessary.



7.5.1 Fuel Storage & Distribution Systems

NO SEDIMENT TRAPS

Maintenance/Improvement Items

There are no sediment traps installed for the gas fired appliances. Sediment traps can typically help to prolong the serviceable life of gas equipment. A qualified plumber can be consulted to install sediment traps.



7.5.2 Fuel Storage & Distribution Systems



Maintenance/Improvement Items

LOOSE DISTRIBUTION PIPING

DOWNSTAIRS UTILITY ROOM

Gas distribution piping is loose and should be further secured to prevent unnecessary strain upon fittings. I recommend consulting a licensed plumber for service.



7.7.1 Exterior Hose Bibs

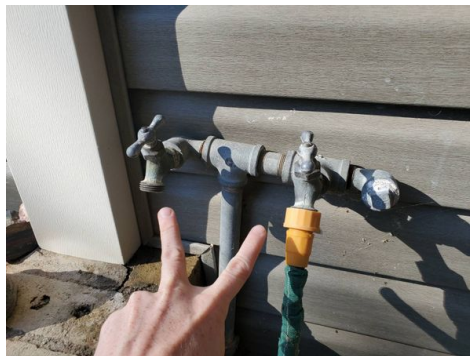


Safety Items

MISSING HOSE BIB VACUUM BREAKER(S)

FRONT OF HOME

A connected hose without a vacuum breaker may draw contaminated water into the clean/potable water supply. I recommend installing vacuum breakers where missing/before connecting hoses.



7.7.2 Exterior Hose Bibs

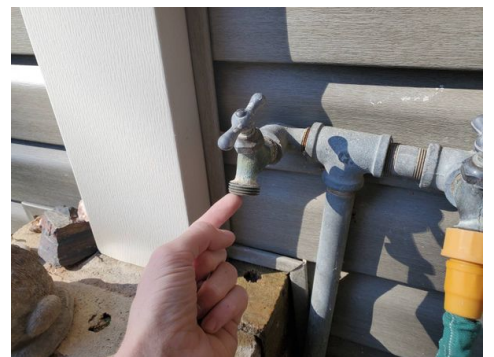


Service/Replacement Items

HOSE BIB DRIPPING

FRONT OF HOME

The hose bib drips with the handle fully closed. I recommend consulting a qualified professional/plumber for service or replacement.



7.7.3 Exterior Hose Bibs



Maintenance/Improvement Items

NO WATER WHEN TESTED

FRONT AND SIDE OF HOME

No water was available at the hose bib when it was tested. I recommend inquiry with the seller regarding functionality and consulting a licensed plumber for service if needed.



7.8.1 Sinks & Faucets

Service/Replacement Items

EVIDENCE OF LEAKING

Evidence of previous leaking/drain corrosion was observed. It is not evident that these leaks were serviced or repaired. Minor leaking can sometimes self seal however sinks should still be serviced/fittings should be tightened to prevent future leaking.



Laundry room/area



Kitchen



Attached bathroom



Primary Bathroom



Downstairs Bathroom

7.8.2 Sinks & Faucets

Maintenance/Improvement Items

CALCIUM/CORROSION AT SUPPLY VALVES

KITCHEN

Calcification and/or corrosion was observed at sink supply/shut-off valves. While no active leaking or dripping was observed at the valves the condition could indicate securing/tightening or replacement is necessary.



7.8.3 Sinks & Faucets

SLOW DRAINAGE

LAUNDRY ROOM/AREA

The sink was slow to drain when tested. I recommend having the drain/drain stop cleaned by a qualified professional.



7.8.4 Sinks & Faucets

MISSING DRAIN STOP(S)

KITCHEN

Missing drain stop(s) observed. Drain stops should be replaced as foreign objects may easily fall into the drain(s). A qualified professional/plumber can be consulted for service.



7.8.5 Sinks & Faucets

LOW WATER FLOW



Water flow is low to the downstairs bathroom sink when hot water is tested. However, the water flow has a sizable increase when a valve handle inside the adjacent shower enclosure is operated. I recommend consulting a licensed plumber for further assessment/correction.



7.8.6 Sinks & Faucets

SUPPLY VALVE LEAK

PRIMARY BATHROOM

A dripping/leaking sink supply valve was observed. I recommend consulting a licensed plumber for repair.



Service/Replacement Items



7.8.7 Sinks & Faucets

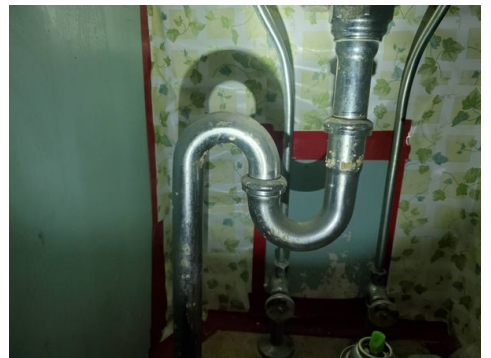
DRAIN S-TRAP

PRIMARY BATHROOM

The drain is configured in a manner which creates an improper S-trap. This configuration could allow water in the trap to be siphoned out and/or can increase the likelihood of a blockage. I recommend consulting a licensed plumber to correct the configuration.



Service/Replacement Items



7.9.1 Bathtubs & Showers

SHOWERHEAD LEAK (AT ATTACHMENT)

ATTACHED AND DOWNSTAIRS BATHROOM

Leaking from the shower-head attachment observed. I recommend securing fittings to try to stop the leak or replacing the showerhead if necessary. A qualified handy person could be consulted for service if needed.



Maintenance/Improvement Items



7.9.2 Bathtubs & Showers

LEAKING HANDLE

ATTACHED AND DOWNSTAIRS BATHROOM

Leaking was observed at the tub/shower control handle when tested. I recommend consulting a licensed plumber for repair.



Service/Replacement Items



7.9.3 Bathtubs & Showers



Maintenance/Improvement Items

DETACHED OR REMOVED DRAIN STOP

ATTACHED BATHROOM

The drain stop has been removed, possibly because it is no longer functional or is difficult to operate. A temporary rubber stop could be used or a qualified plumber could be consulted to reinstall a permanent stop.



7.9.4 Bathtubs & Showers

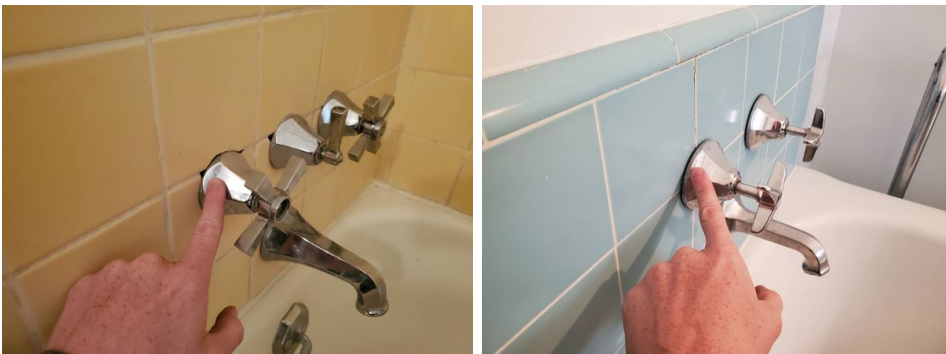


Maintenance/Improvement Items

SEAL AROUND TUB, TRIM COVERS & SPOUT

ATTACHED AND PRIMARY BATHROOM

I recommend sealing/re-sealing around the tub/shower control trim ring, the tub spout and along the tubs to help prevent water intrusion into the wall openings.



7.9.5 Bathtubs & Showers

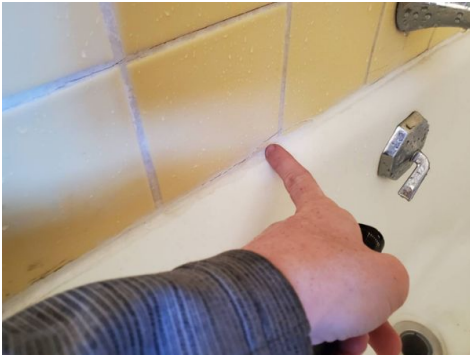


Maintenance/Improvement Items

CRACK IN SHOWER TILE

ATTACHED BATHROOM

The shower tile is cracked. Minor/smaller cracks can often be sealed/patched. A qualified plumber can be consulted for service.



7.9.6 Bathtubs & Showers

HARDWARE HOLES

ATTACHED BATHROOM

There are small hardware holes in the shower surround from a previous shower door. Patching or filling the holes will help prevent water intrusion.



Maintenance/Improvement Items



7.9.7 Bathtubs & Showers

NO HOT WATER

No hot water was available at the downstairs bathroom shower when tested. I recommend consulting a licensed plumber for service.



Service/Replacement Items



7.9.8 Bathtubs & Showers

INOPERABLE TUB SPOUT DIVERTER

ATTACHED BATHROOM

Water flows simultaneously through both the showerhead and tub spout regardless of whether the tub spout diverter pin is raised or lowered. Additionally, both the hot and cold water valve must be fully opened for water to flow through the showerhead. I recommend consulting a licensed plumber for further assessment/service.



Service/Replacement Items



7.10.1 Toilets

LOOSE TOILETS

HALF, PRIMARY, AND DOWNSTAIRS BATHROOM

The toilets are loose/able to be rocked or shifted. Toilets should remain tightly secured to floors to avoid displacement of the wax seal. No leaking was observed during the inspection. I recommend assessment/securing by qualified plumber.

 Service/Replacement Items


7.10.2 Toilets

LEAK AT TANK ATTACHMENT

ATTACHED BATHROOM

The toilet leaks at the attachment of the tank and bowl. I recommend consulting a licensed plumber for repair.

 Service/Replacement Items


7.10.3 Toilets

MISSING TANK LID
 Maintenance/Improvement Items

A lid for the primary bathroom toilet tank is missing. I recommend replacement.



7.11.1 Washer Plumbing

SUPPLY VALVE CORROSION

Corrosive build-up was observed at the washer supply valves. Corrosion can lead to water restriction, damage or leaking. These valves were not tested. I recommend having the valves replaced by a licensed plumber.



Maintenance/Improvement Items



8: ELECTRICAL

		IN	NI	NP	S
8.1	Service Entrance & Conductors	X			
8.2	Service Equipment, Distribution Panels & Grounding	X			X
8.3	Branch Circuit Conductors & Over-Current Devices	X			X
8.4	Conduit & Wiring	X			X
8.5	Service Disconnects	X			X
8.6	Receptacles & GFCI Devices	X			X
8.7	Light Fixtures, Ceiling fans and Switches	X			X
8.8	Doorbell	X			X
8.9	Smoke Detectors	X			X
8.10	Carbon Monoxide Detectors	X			X

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Electrical Service Type

Overhead

Size of Electrical Service (Amperage)

100A

Electrical Service Voltage

120/240V

Service Entrance & Conductors: Electrical Service Conductor Material

Not visible

Service Equipment, Distribution Panels & Grounding : Main Distribution Panel Location

Rear of home

Service Equipment, Distribution Panels & Grounding : Sub-panel Location(s)

Staircase

Service Equipment, Distribution Panels & Grounding : Water Bond Observed

Yes, Appears bonded at distribution piping

Service Equipment, Distribution Panels & Grounding : Gas Bond Observed

Yes, Appears bonded at distribution piping

Branch Circuit Conductors & Over-Current Devices: Branch Circuit Conductor Material(s)

Solid copper, Stranded Copper, Stranded Aluminum, Solid Aluminum for 1-pole circuits

Branch Circuit Conductors & Over-Current Devices: Over-Current Device Type(s)

Circuit Breakers

Reference Photos



Service Equipment, Distribution Panels & Grounding : Labeling not verified

Please note that we observe but do not verify the accuracy of the circuit labeling.

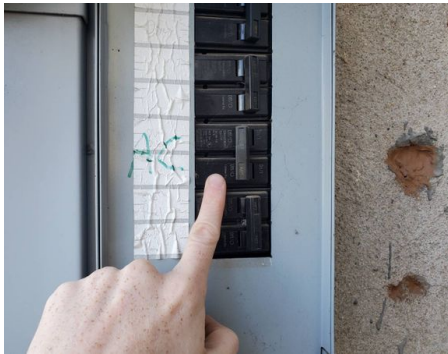
Service Equipment, Distribution Panels & Grounding : Fused Distribution Panel

A fused distribution panel is installed. This type of panel is no longer manufactured/widely installed and is considered to be outdated by many industry professionals. A licensed electrician should be consulted to assess for replacement.



Branch Circuit Conductors & Over-Current Devices: Circuit breakers turned off

Please note that some of the circuit breakers were turned off at the time of the inspection. The circuit breakers were not turned on for further testing and evaluation. I recommend inquiry with the seller regarding the functionality of the circuit breakers and connected equipment that was off during the inspection.



Branch Circuit Conductors & Over-Current Devices: Challenger circuit breakers

Challenger circuit breakers are installed in the main electric distribution panel. The Challenger brand is discontinued. Challenger circuit breakers are known amongst some industry professionals to be problematic due to issues with overheating and/or not tripping in an over-current situation. I recommend having the circuit breakers assessed by a licensed electrician.



Receptacles & GFCI Devices : Two prong receptacles

There are multiple (ungrounded) two prong receptacles installed. I recommend consulting a qualified electrician to replace these receptacles where the use of an equipment ground will be necessary.



Smoke Detectors: Not Tested

Smoke detectors installed were not tested as a part of this inspection. Smoke detectors should be tested monthly. Batteries should be changed annually. Smoke detectors should be replaced after 10 years of use.

Service/replace

8.2.1 Service Equipment,
Distribution Panels & Grounding
CIRCUITS NOT LABELED



Maintenance/Improvement Items

Some of the circuits are not labeled at the service panel dead front cover. Each circuit should be clearly labeled. An electrician can be consulted for service.



8.3.1 Branch Circuit Conductors & Over-Current Devices

Service/Replacement Items

DOUBLE TAPPED NEUTRAL CONDUCTOR(S)

Neutral conductor(s) are sharing terminals. Neutral conductors are generally require to be independently terminated unless otherwise specified by the panel manufacturer. I recommend consulting a licensed electrician for assessment/service.

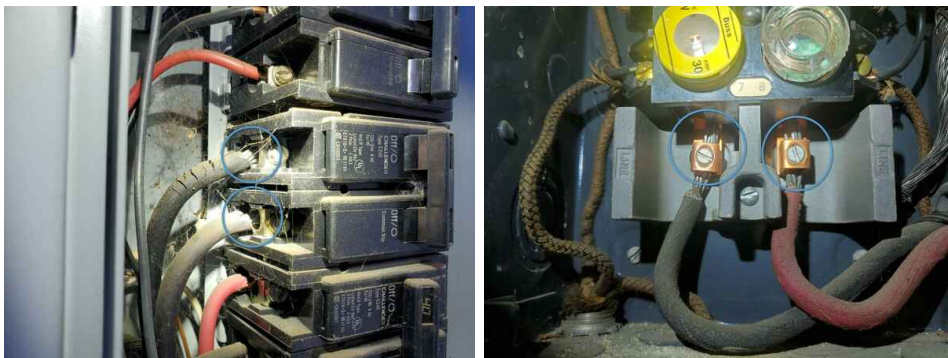


8.3.2 Branch Circuit Conductors & Over-Current Devices

Maintenance/Improvement Items

ANTIOXIDANT PASTE

No antioxidant paste was observed at stranded aluminum wire terminations. Antioxidant paste is missing or if applied is not sufficient enough for visual observation. Antioxidant paste is not always required but can help maintain a strong electrical contact. A qualified electrician could be consulted to apply antioxidant paste.



8.3.3 Branch Circuit Conductors & Over-Current Devices

Maintenance/Improvement Items

NON OEM BREAKERS

Circuit breakers are installed that were not manufactured by the electrical service panel manufacturer. Electrical service panel manufacturers typically require their own/specific breakers be installed. I recommend consulting a licensed electrician to assess/replace breakers if necessary.



8.3.4 Branch Circuit Conductors & Over-Current Devices

Service/Replacement Items

UNDERSIZED CONDUCTORS

Electrical conductors are undersized/too small for the connected overcurrent device(s) for some circuits. This can lead to issues with excessive heat. I recommend consulting a qualified electrician for service/correction.



8.3.5 Branch Circuit Conductors & Over-Current Devices

Safety Items

ALUMINUM BRANCH CIRCUIT WIRING

Aluminum wire is installed for branch electrical circuits. These single strand, branch circuit aluminum wires were used widely in houses during the mid 1960s and 1970s. According to the U.S. Consumer Product Safety Commission, problems due to expansion can cause overheating at connections between the wire and devices (switches and outlets) or at splices, which has resulted in fires. For further information on aluminum wiring contact the U.S. Consumer Product Safety Commission via the Internet at <http://www.cpsc.gov/>. I recommend consulting a licensed electrician to assess and service as necessary.



8.3.6 Branch Circuit Conductors & Over-Current Devices

Service/Replacement Items

DOUBLE TAPPED FUSE

A fuse is double tapped. Fuses are often intended for termination of one conductor in each terminal. I recommend consulting an electrician for correction.



8.3.7 Branch Circuit Conductors & Over-Current Devices

Service/Replacement Items

CLOTH NM CABLE

Older/original cloth braided non-metallic cable is installed. This type of electrical cable was common in older homes however is known to have undersized grounding conductors or missing grounding conductors in some instances. The cloth material is also known to become brittle and deteriorate. I recommend consulting a licensed electrician to evaluate material condition.



8.3.8 Branch Circuit Conductors & Over-Current Devices

Maintenance/Improvement Items

WORN/DAMAGED INSULATION

Insulation installed around electrical conductors in the main distribution panel is brittle/cracking, exposing conductors. I recommend consulting a licensed electrician for service/repair.



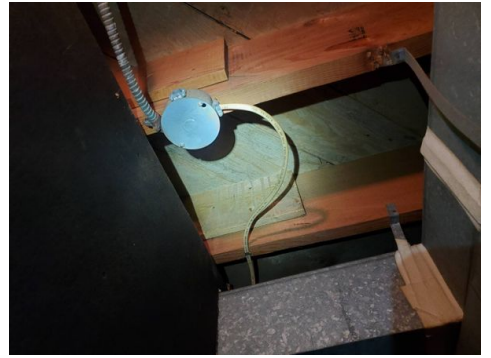
8.4.1 Conduit & Wiring

Service/Replacement Items

EXPOSED NON-METALLIC CABLING

KITCHEN AND DOWNSTAIRS

Exposed non-metallic cable was observed. This type of electrical cable is intended for installation in areas such as wall cavities and in attics, not in open spaces where it may be contacted and damaged. I recommend consulting a licensed electrician for service/correction.



8.4.2 Conduit & Wiring

EXPOSED WIRES & SPLICES

STAIRCASE CLOSET AND BASEMENT

Exposed electrical conductors/splices were observed. Splices should always be contained within enclosures. Conductors should always be contained within cable sheathing or conduit. I recommend consulting a licensed electrician for service/correction.

 Safety Items



8.5.1 Service Disconnects

MISSING INTERIOR COVER

DOWNSTAIRS UTILITY ROOM

The interior cover is missing for the air conditioner service disconnect. Electrical conductors and terminals are exposed when the exterior cover is opened. I recommend consulting a qualified electrician to replace the inside cover or the entire disconnect if necessary.

 Service/Replacement Items



8.6.1 Receptacles & GFCI Devices

LOOSE RECEPTACLE(S)

PRIMARY BATHROOM

Some of the receptacles are loose and easily moved within their enclosures or enclosures are loose in walls. I recommend securing where needed. An electrician can be consulted for service.

 Maintenance/Improvement Items



8.6.2 Receptacles & GFCI Devices

 Maintenance/Improvement Items

MISSING INTERIOR RECEPTACLE COVER(S)

DOWNSTAIRS MAIN ROOM

Missing interior receptacle cover(s) observed. Each receptacle should have a cover so that conductors and terminals are not exposed. I recommend installing covers where missing.



8.6.3 Receptacles & GFCI Devices

 Safety Items

MISSING GFCI PROTECTION PER CURRENT STANDARDS

Ground fault circuit interrupters (GFCI's) are not installed in some locations where they are now required for safety purposes. I recommend consulting a licensed electrician to install GFCI protection where it is missing.



Kitchen



Kitchen



Balcony



Downstairs Bathroom

8.6.4 Receptacles & GFCI Devices

Service/Replacement Items

UNGROUND 3-PRONG RECEPTACLES

3-prong receptacles are not grounded or are wired with an open ground. I recommend consulting a licensed electrician for service/correction.



8.6.5 Receptacles & GFCI Devices

Maintenance/Improvement Items

NON-OUTDOOR COVER(S)

BALCONY

Receptacles installed outdoors should have specific outdoor-rated covers installed. I recommend replacing indoor covers with outdoor covers. A qualified professional/electrician should be consulted for service if needed.



8.6.6 Receptacles & GFCI Devices

Maintenance/Improvement Items

NO BATHROOM RECEPTACLES

There are no receptacles installed in the attached and half bathroom. I recommend consulting a licensed electrician to install receptacle if needed.



8.6.7 Receptacles & GFCI Devices

 Maintenance/Improvement Items

PAINTED RECEPTACLES

FAMILY ROOM

Some receptacles have been painted over. It is generally recommended that painted receptacles be replaced instead of cleaned. I recommend consulting a qualified professional/electrician for replacement.



8.7.1 Light Fixtures, Ceiling fans and Switches

 Maintenance/Improvement Items

LIGHT(S) DID NOT RESPOND

Some of the lights did not respond when tested. I recommend requesting all missing and burnt-out bulbs be replaced so lights may be retested at final walk-through.



8.7.2 Light Fixtures, Ceiling fans and Switches



Maintenance/Improvement Items

MISSING EXTERIOR LIGHT FOR DOOR

SIDE OF HOME

It is generally recommended (often required) that an exterior light be able to be turned on as you exit a home. There is no (switchable) exterior fixture installed near the door. I recommend consulting a qualified electrician to install a switchable fixture.



8.8.1 Doorbell



Service/Replacement Items

NO CHIME

SIDE OF HOME

The doorbell did not respond when tested. I recommend consulting a qualified technician for service if needed.



8.9.1 Smoke Detectors



Maintenance/Improvement Items

10+ YEARS OLD

Some smoke detectors appear as though they could be older than approximately 10 years. It is generally recommended that smoke detectors be replaced at ten year intervals or less. I recommend replacement where necessary by a qualified professional/electrician.



8.9.2 Smoke Detectors



Safety Items

NO SMOKE DETECTORS IN REQUIRED LOCATIONS

Smoke detectors are missing in required locations. The NFPA recommends installing smoke alarms inside each bedroom, outside each sleeping area and on every level of the home. I recommend consulting a qualified electrician for installation.

8.10.1 Carbon Monoxide Detectors



Safety Items

NO CO DETECTOR LOCATED

No carbon monoxide detector was observed or located. Carbon monoxide detectors are recommended (sometimes required) in homes with gas appliances, fireplace(s) and/or attached garages. There are many types available including battery powered, hard-wired and plug-in however many industry professionals agree that hard-wired devices are most reliable. An electrician can be consulted for a permanent hard-wired device.

9: INTERIOR

		IN	NI	NP	S
9.1	Walls & Ceilings	X			X
9.2	Floors	X			X
9.3	Interior Doors & Closets	X			X
9.4	Countertops & Cabinets	X			X
9.5	Steps, Stairways, Balconies & Railings	X			X
9.6	Separation Between Dwelling Units			X	

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

Furnished home

The home was furnished at the time of the inspection. Inspection of building materials, finish materials, floors, doors, cabinets, countertops, shelving, windows as well as plumbing and electrical materials was limited to what was visible. Furniture and personal belongings were not moved.

Deceased pests

Deceased pests and droppings were observed in the home. I recommend service as needed by a qualified pest control company.



Walls & Ceilings : Missing Door Stops

Door stops are missing in some areas. Door stops can help prevent damage to interior finish by preventing impact with door handles.

Walls & Ceilings : Wallpaper in bathroom(s)

Wallpaper is installed in one or more bathrooms. Please note that it is not uncommon for mildew-like growth to develop behind wallpaper due to high levels of moisture in bathrooms. Wallpaper is not removed or peeled during a standard Arizona home inspection.



Walls & Ceilings : Potential repairs

Attached and primary bathroom

It appears as though drywall may have been repaired or patched and painted in areas.



Countertops & Cabinets: Personal belongings below sinks

Inspection within cabinets was limited due to personal belongings. I recommend observing inside cabinets, specifically below sinks at final walk-through if possible.

Countertops & Cabinets: Cosmetic conditions

Cosmetic conditions such as scratches and/or chipped finish was observed at interior cabinets.

Service/replace

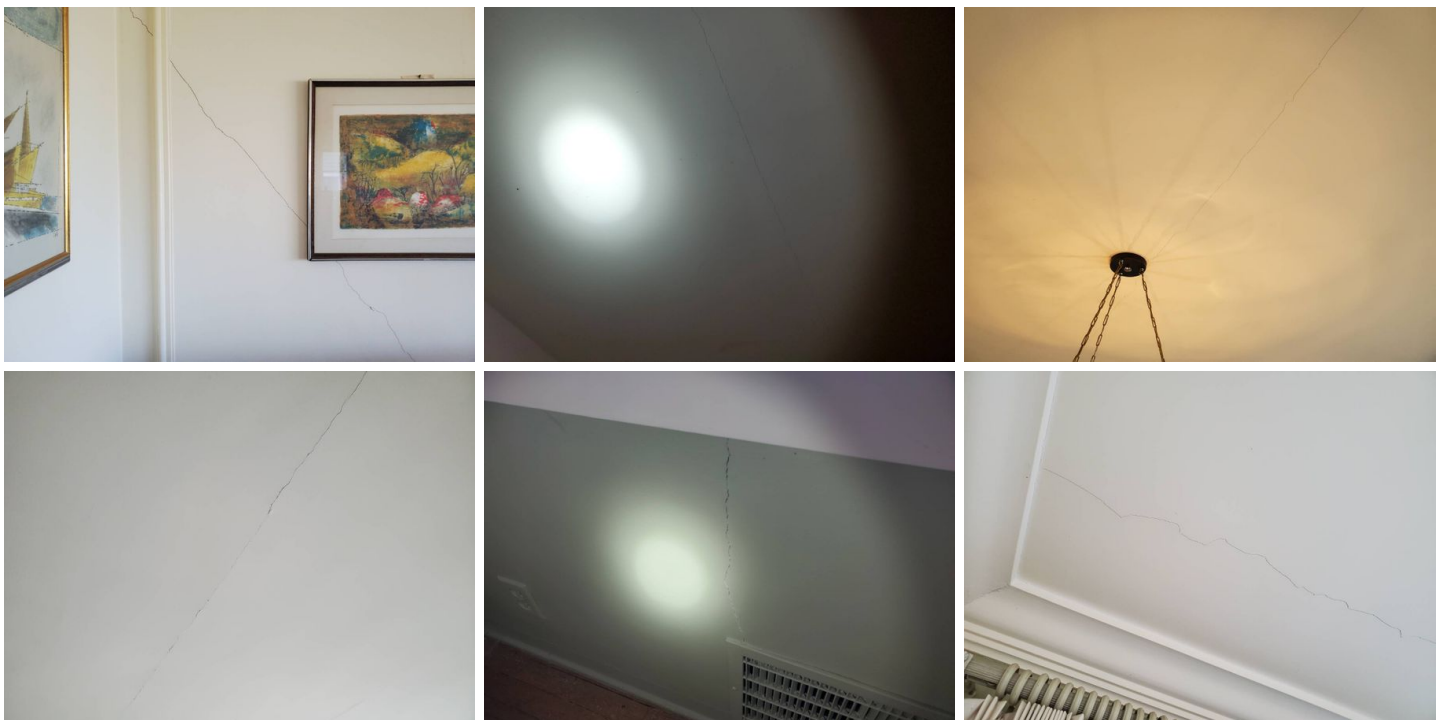
9.1.1 Walls & Ceilings

DRYWALL CRACKS



Service/Replacement Items

Interior drywall cracks and/or separated tape seams were observed. Drywall cracking appears as though it may be due to settlement/movement in some areas. I recommend consulting a licensed contractor to further assess drywall cracks/provide service options.





9.1.2 Walls & Ceilings

WATER STAINS (POTENTIAL ROOF/PLUMBING LEAKS)

Service/Replacement Items

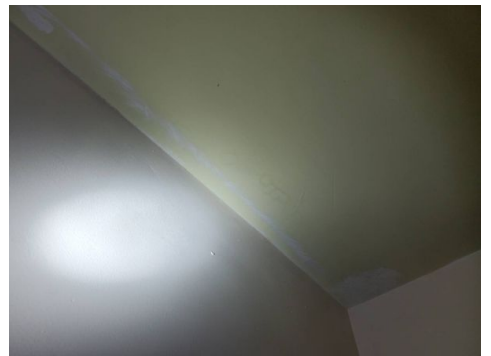
Water stains/possible indication of roof and/or plumbing leaking was observed. No elevated moisture was detected with an infrared camera/moisture meter. I recommend inquiry with the seller regarding leak history. Observed conditions on the roof that could lead to leaking have been documented. A drywall repair professional or similar should be consulted for service.



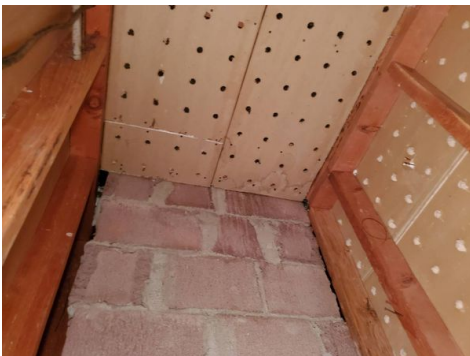
Downstairs



Primary Bedroom



Laundry room/area



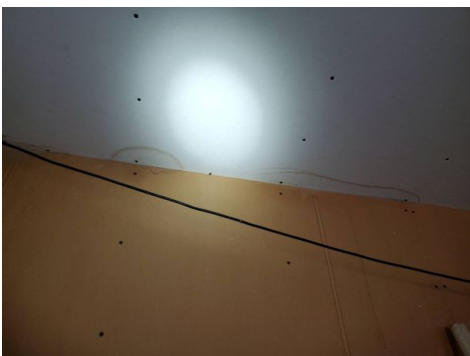
Staircase closet



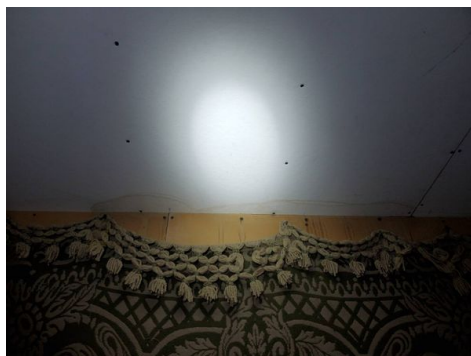
Downstairs



Downstairs



Downstairs



Downstairs



Downstairs Bathroom

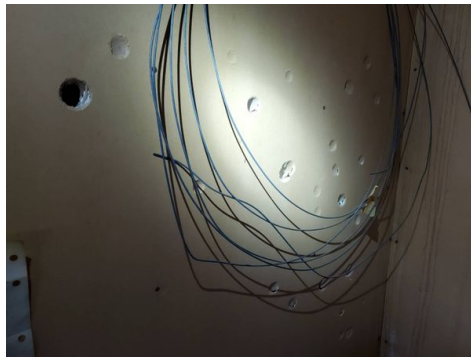


9.1.3 Walls & Ceilings

DAMAGED/OPEN DRYWALL

 Maintenance/Improvement Items

Damaged and open/unsealed drywall was observed. A drywall repair professional can be consulted for service.



9.1.4 Walls & Ceilings

MISSING DROP-DOWN CEILING PANELS

 Maintenance/Improvement Items

Downstairs drop down ceiling panels are missing in some areas. A qualified professional can be consulted to install where needed.

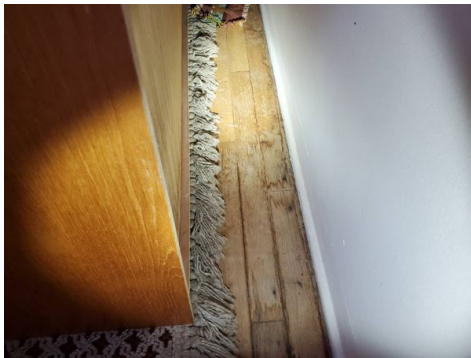


9.2.1 Floors

WATER STAINED FLOORING

Service/Replacement Items

Water stained flooring/subflooring was observed in the family/dining room and downstairs main room. No elevated moisture or excessive damage was observed. I recommend consulting a licensed flooring repair/installation professional for service.



9.3.1 Interior Doors & Closets

DOOR(S) RUB

BOTH BEDROOMS AND STAIRS

Maintenance/Improvement Items

Interior door(s) rub the door jamb when opening and closing. A door repair professional can be consulted for service/adjustment.



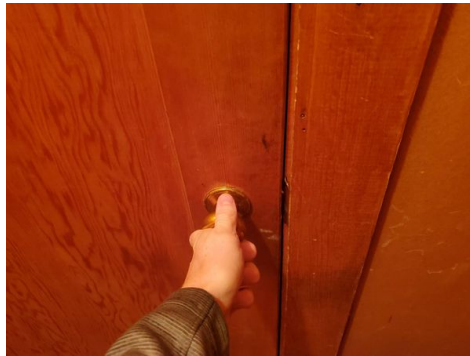
9.3.2 Interior Doors & Closets

 Maintenance/Improvement Items

WILL NOT LATCH

HALL AND DOWNSTAIRS

The interior door does not latch closed. Strike plate hardware can often be adjusted. A door repair professional can be consulted for service.



9.4.1 Countertops & Cabinets

 Maintenance/Improvement Items

RUSTED PANELING

Rusted kitchen cabinet floor paneling was observed. Material would likely still be considered usable, however, could be replaced if needed.



9.4.2 Countertops & Cabinets

 Maintenance/Improvement Items

DAMAGED COUNTER FINISH

KITCHEN

Damaged/missing countertop finish was observed. A countertop repair and installation professional can be consulted for service.



9.4.3 Countertops & Cabinets

 Maintenance/Improvement Items

DOOR DOES NOT OPEN

A laundry room cabinet door is stuck in a closed position. A qualified cabinet repair professional can be consulted for service.

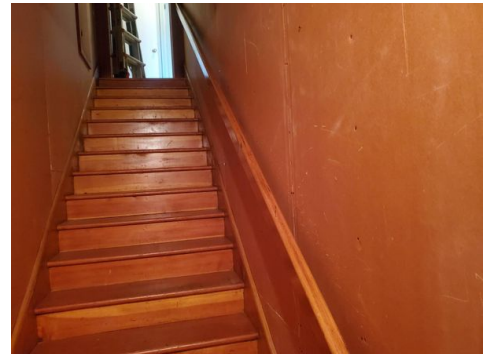


9.5.1 Steps, Stairways, Balconies & Railings

 Maintenance/Improvement Items

LOOSE HANDRAIL

The staircase handrail is loose and can be further secured by a qualified professional.



10: KITCHEN APPLIANCES

		IN	NI	NP	S
10.1	Dishwasher			X	
10.2	Garbage Disposal	X			
10.3	Range/Oven and Cooktop	X			X
10.4	Range Hood			X	
10.5	Built-in Microwave			X	
10.6	Refrigerator	X			

IN = Inspected NI = Not Inspected NP = Not Present S = Service/Replace

Information

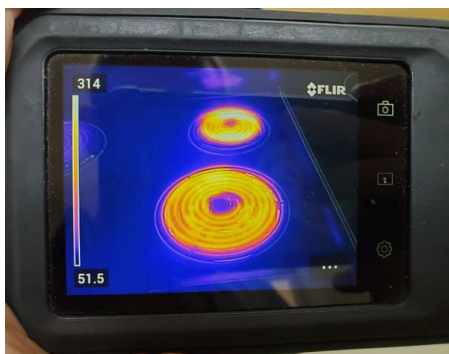
Range/Oven and Cooktop: Anti-tip Bracket Installed

No

Range/Oven and Cooktop: Range/Oven Energy Source

Electric

Reference Photos



Refrigerator : Unplugged refrigerator

The refrigerator was not plugged in/connected to a power source at the time of the inspection. I recommend inquiry with the seller regarding functionality.

Service/replace

10.3.1 Range/Oven and Cooktop
MISSING ANTI-TIP DEVICE



There is no anti-tip device installed to secure the oven to the floor. This is a potential safety concern. I recommend consulting a qualified professional to install anti-tip device.



STANDARDS OF PRACTICE

Inspection Details

Standards of Professional Practice for Arizona Home Inspectors

Structural

Inspection includes per state standards;

Observation of structural components including the foundation, floors, walls, columns, ceilings, and roof. The types of structural components will be noted.

Probing structural components if/where deterioration is suspected. Probing is not required if it could damage any finished surface.

Entering underfloor crawlspaces and/or attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected. Inspection methods for the underfloor crawl spaces and/or attics will be noted.

Noting signs of water penetration into the building and/or signs of abnormal or harmful condensation on building components if observed.

Observation of insulation and vapor retarders in unfinished spaces. The type of insulation and vapor retarders will be noted. The absence of these materials in unfinished space at conditioned surfaces will be noted.

Observation of ventilation of foundation areas.

Exterior

Inspection includes per state standards;

Observation of wall cladding, flashings, trim, entryway doors, a representative number of windows, decks, balconies, stoops, steps, areaways, porches, railings, eaves, soffits and fascia. The type(s) of wall cladding materials will be noted.

Observation of vegetation, grading, drainage, driveways, patios, walkways and retaining walls with respect to their effect on the condition of the building

Operating all entryway doors and a representative number of windows.

In addition to the state standards will will observe the basic functionality of perimeter fences and gates.

Exterior conditions that are cosmetic in nature may be reported at the discretion of the inspector.

Garage

Inspection includes per state standards;

Observation of garage door operators.

Operating garage doors manually or by using the permanently installed controls for garage door operators.

Noting if garage door operators will automatically reverse or stop when meeting reasonable resistance during closing.

Operating all entryway doors and a representative number of windows.

In addition to the state standards will will observe the basic functionality of the garage floor.

Garage conditions that are cosmetic in nature may be reported at the discretion of the inspector.

Roof & Attic

Inspection includes per state standards;

Observation of roof coverings, roof drainage systems, flashings, skylights, chimneys and roof penetrations. The type(s) of roof coverings materials will be noted.

Noting signs of leaks or abnormal condensation on building components if observed.

Observation of insulation and vapor retarders in the attic. The type of insulation and vapor retarders will be noted. The absence of these materials in the attic at conditioned surfaces will be noted.

Observation of ventilation of attics.

Heating, Ventilation & Air Conditioning

Inspection includes per state standards;

Observation of the permanently installed heating system which includes heating equipment, normal operating controls, automatic safety controls, chimneys, flues and vents. The energy source and type of heating equipment will be noted. The systems will be operated using normal operating controls. The system will not be tested when weather conditions or other circumstances may cause equipment damage. Readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance will be opened for inspection.

Observation of solid fuel heating devices.

Observation of heat distribution systems which includes fans, pumps, ducts and piping, with supports, dampers, insulation, air filters, registers, radiators, fan coil units, convectors. The type of distribution system will be noted.

Observation of the presence of an installed heat source in each room.

Observation of the central air conditioning system which includes cooling and air handling equipment and normal operating controls. Cooling equipment type and energy source will be noted. The system will be operated using normal operating controls. The system will not be tested when weather conditions or other circumstances may cause equipment damage. Readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance will be opened for inspection.

Observation of distribution systems which includes fans, pumps, ducts, piping, supports, dampers, insulation, air filters, registers, and fan-coil units.

Observation of the presence of an installed cooling source in each room.

Observation of kitchen, bathroom, and laundry venting systems.

In addition to the state standards we will test mini-split/ductless systems and through-wall units for basic functionality if/when possible.

Window units will not be tested.

Permanently installed evaporative cooling systems will be tested at the discretion of the inspector.

Plumbing

Inspection includes per state standards;

Observation of the interior water supply and distribution system which includes piping materials, supports and insulation. Types of supply and distribution materials will be noted.

Observation of fixtures, faucets, and functional flow. Operating fixtures including their faucets and all exterior faucets attached to the houses.

Noting supply leaks if observed.

Noting cross connections if observed.

Observation of the interior drain, waste and vent system which includes traps, drain, waste, and vent piping, piping supports and pipe insulation. Observing functional flow. Types of drain, waste and vent piping materials will be noted.

Noting drain leaks if observed.

Observation of hot water systems which includes water heating equipment, normal operating controls, automatic safety controls, chimneys, flues and vents. The type of water heating equipment and fuel/power source will be noted.

Observation of fuel storage and distribution systems including interior fuel storage equipment, supply piping, venting and supports. leaks.

Observation of sump pumps when installed.

Electrical

Inspection includes per state standards;

Observation of service entrance conductors. The type of service and conductors will be noted. Limitations will be noted if present (underground service).

Observation of service equipment including grounding equipment, main overcurrent devices, main and distribution panels. Amperage and voltage ratings of the service will be observed and noted. The location of main and distribution panels will be noted.

Observation of branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities and voltages. Aluminum branch circuit wiring will be noted if present.

Operating a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage, and on its exterior walls.

Observation of the polarity and grounding of all receptacles within six feet of interior plumbing fixtures and all receptacles in the garage or carport, and on the exterior of inspected structures.

Testing the operation of ground fault circuit interrupters.

Interior

Inspection includes per states standards;

Observation of walls, ceiling and floors.

Observation of steps, stairways, balconies and railings.

Observation of counters and a representative number of cabinets.

Observation and operation of a representative number of doors and windows.

Observation of separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.

Observation of sumps.

Noting signs of water penetration into the building or signs of abnormal or harmful condensation on building components if observed.

Conditions that are cosmetic in nature will be reported at the discretion of the inspector.

We are not required to report on carpet conditions per state standards.

Kitchen Appliances

The Standards of Professional Practice for Arizona Home Inspectors does not require the observation or testing of household/kitchen appliances. We will observe the built-in appliances and test **basic operability** unless otherwise specified in the report.